

BASIC COMMITMENTS

WATER COMMITMENTS

1. The applicant must plant indigenous or low water use species of vegetation throughout 250 square meter of the site.
2. The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.
3. The applicant must install a toilet flushing system with a minimum rating of 5 star in each toilet in the development.
4. The applicant must install basin taps with a minimum rating of 4 star in the kitchen in the development.
5. The applicant must install basin taps with a minimum rating of 4 star in each bathroom in the development.
6. Alternative water
7. Rainwater tank
 - The applicant must install a rainwater tank of at least 5000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.
 - The applicant must configure the rainwater tank to collect rain runoff from at least 385 square metres of the roof area of the development (excluding the area of the roof which drains to any storm water tank or private dam).
 - The applicant must connect the rainwater tank to:
 - all toilet in the developments,
 - at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)

THERMAL COMFORT COMMITMENTS

- | | Area |
|--|---------------------------|
| 1. Floor and wall construction | 37.0 square metres |
| 2. floor - suspended floor/enclosed subfloor | 102.0 square metres |
| 3. floor - suspended floor above garage | All or part of floor area |

ENERGY COMMITMENTS

1. Hot water
 - The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 4 stars.
2. Cooling system
 - The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: air conditioning ducting only. Energy rating: n/a
 - The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: air conditioning ducting only. Energy rating: n/a
3. Heating system
 - The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: air conditioning ducting only. Energy rating: n/a
 - The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: air conditioning ducting only. Energy rating: n/a
4. Ventilation
 - The applicant must install the following exhaust systems in the development:
 - At least 1 Bathroom: individual fan, ducted to facade or roof. Operation control: manual switch on/off
 - Kitchen: individual fan, ducted to facade or roof. Operation control: manual switch on/off
 - Laundry: individual fan, ducted to facade or roof. Operation control: manual switch on/off
5. Artificial lighting
 - The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps.
 - at least 2 of the bedrooms / study, dedicated
 - the kitchen, dedicated
 - all bedrooms/toilets, dedicated
 - the laundry, dedicated
 - all hallways, dedicated
6. Natural lighting
 - The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.
 - The applicant must install a window and/or skylight in 5 bathroom(s)/toilet(s) in the development for natural lighting.
7. Swimming pool
 - The development must not incorporate any heating system for the swimming pool
 - The applicant must install a timer for the swimming pool pump in the development
8. Outdoor spa
 - The development must not incorporate any heating system for the spa
 - The applicant must install a timer for the spa pump in the development
9. Alternative energy
 - The applicant must install a photovoltaic system with the capacity to generate at least 2.5 peak kilowatts of electricity as part of the development. The applicant must connect this system to the development's electrical system.
10. Other
 - The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.
 - The applicant must install a fixed indoor or sheltered clothes drying line as part of the development.



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ALL WORK IS TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA, RELEVANT AUSTRALIAN STANDARDS & LOCAL AUTHORITY REQUIREMENTS.

BUILDING CONTRACTOR & ALL RELIANT SUB TRADES TO CHECK & VERIFY ALL DIMENSIONS & ASSOCIATED DRAWING PARTS PRIOR TO MANUFACTURE, CONSTRUCTION & INSTALLATION ON SITE. DO NOT SCALE OF DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE.

VISION GROUP ARCHITECTS ACCEPTS NO LIABILITY OR RESPONSIBILITY RESULTING FROM BUILDERS SELECT OR PREFERRED METHOD OF CONSTRUCTION FOR ANY BUILDING DEFECT.

NOTE: 5. SELECTORS TO COMPLY WITH REQUIREMENTS OF SPECIFIC LOCALITY RCM REG. AND SPACE ALARMS SHALL COMPLY WITH AS 786 AND BE CONNECTED TO THE MAIN POWER SUPPLY.

VISION GROUP ARCHITECTS

NOTE:

ALL EXISTING & OVERALL DIMENSIONS ARE NOMINAL & SUBJECT TO VERIFICATION ON SITE. WHERE ANY DISCREPANCY EXISTS BETWEEN NEW WORK & EXISTING DIMENSIONS, EXISTING DIMENSIONS/WORK SHOULD TAKE PRECEDENCE WHERE NECESSARY. - OFFERED BY VISION GROUP ARCHITECTS

NOTE:

SELECTED TYPICAL PROTECTION TO BE USED ON SITE IN ACCORDANCE WITH LOCAL AUTHORITY WITH LOCAL CODE'S REQUIREMENTS. B.C.A. AND ALL RELEVANT AUSTRALIAN STANDARDS.

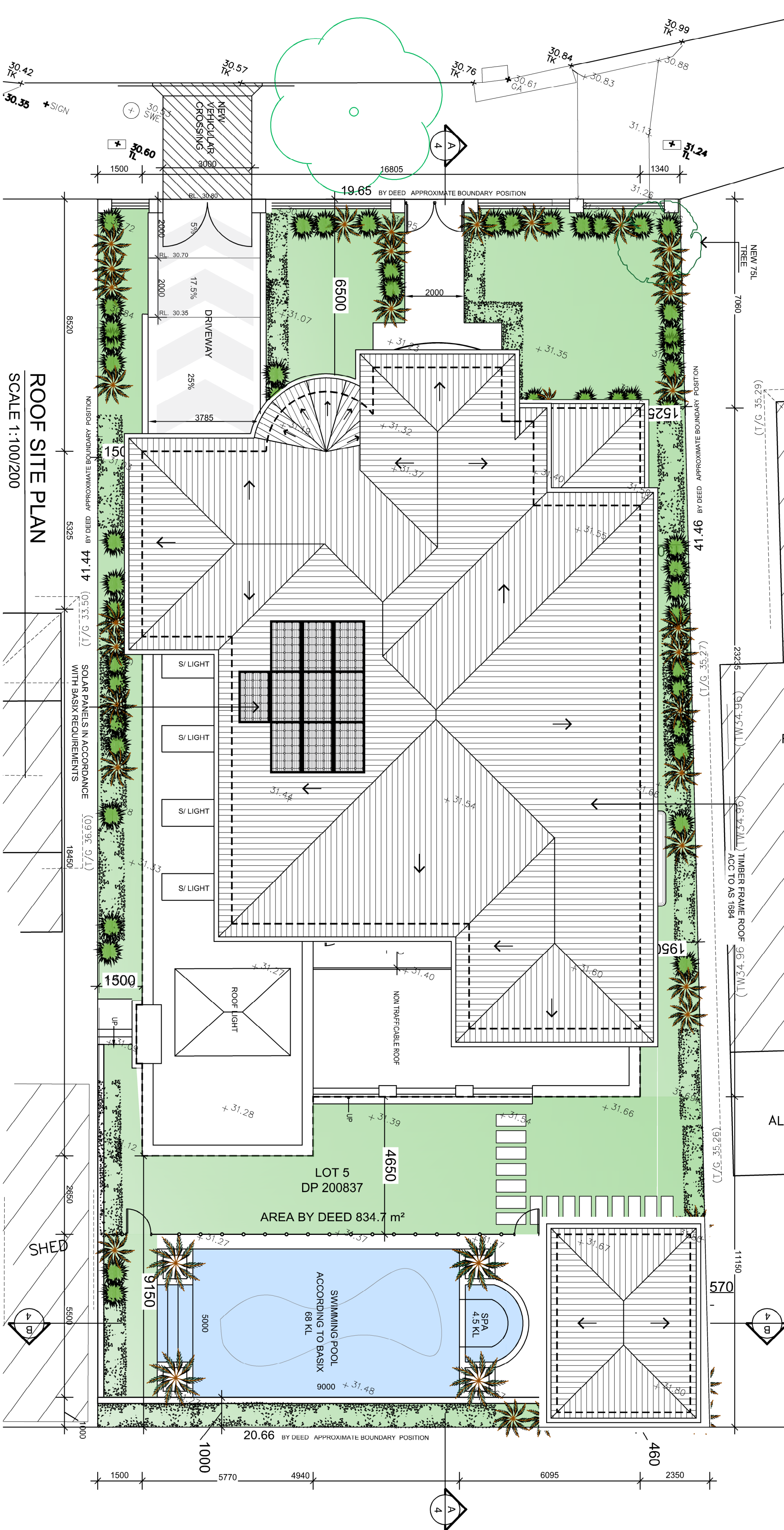
NOTE: 5. SELECTORS TO COMPLY WITH REQUIREMENTS OF SPECIFIC LOCALITY RCM REG. AND SPACE ALARMS SHALL COMPLY WITH AS 786 AND BE CONNECTED TO THE MAIN POWER SUPPLY.

ISSUE	AMENDMENT	DATE	INT.
A	D.L. DEVELOPMENT APPLICATION	FEB 2022	D.S.

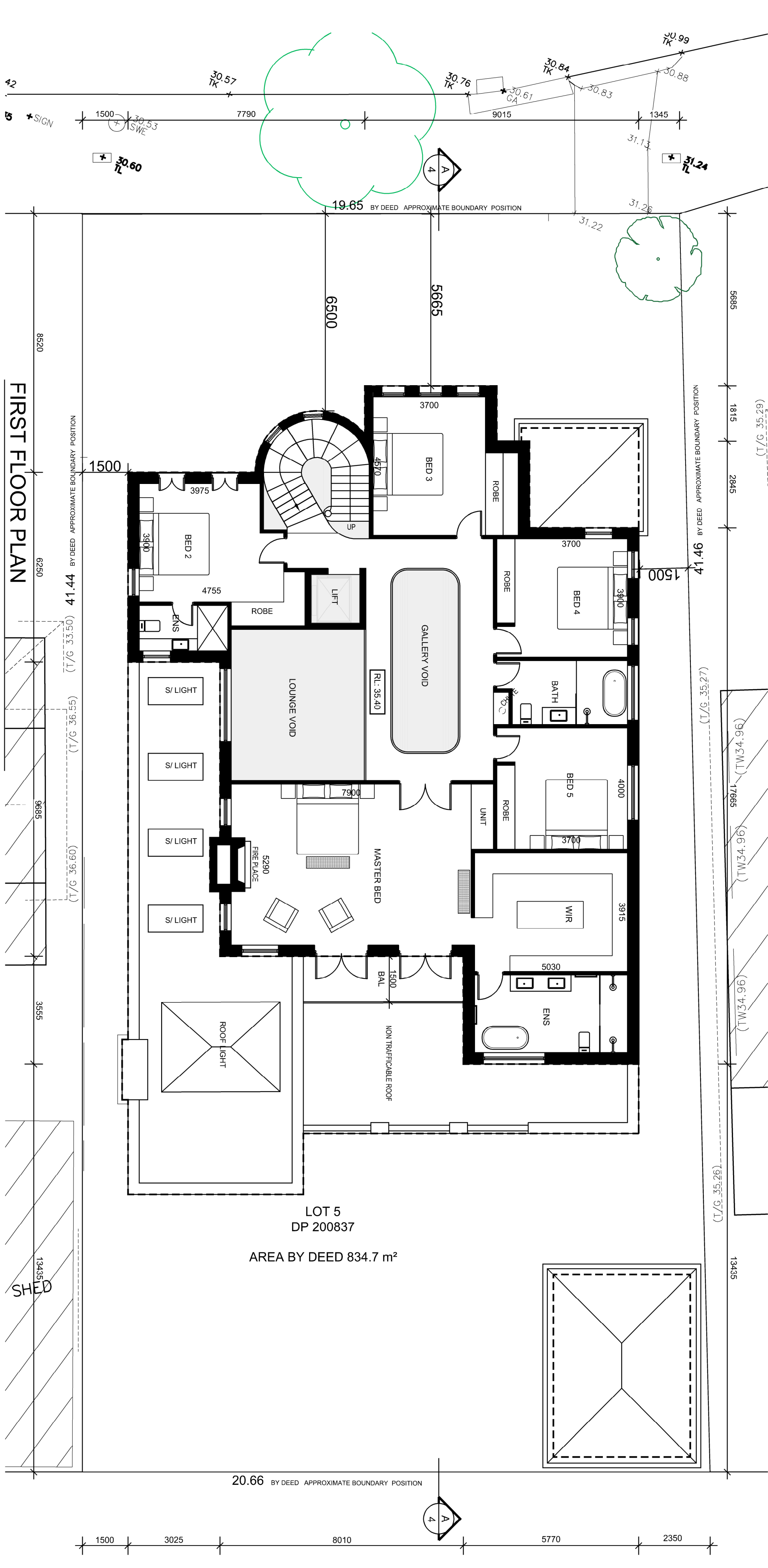
TRUE NORTH

Client	Address
HABIB, FAWAZ	7 SOLOMON COURT, GREENACRE, NSW LOT 5 IN DP 200837

Project	Drawing Title
PROPOSED NEW 2 STOREY DWELLING OVER BASEMENT INCLUDING POOL & FENCE	FIRST FLOOR PLAN ROOF SITE PLAN BASIX



ROOF SITE PLAN
SCALE 1:100/200



FIRST FLOOR PLAN
SCALE 1:100/200

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Drawn	SD	Date	Job Number	Sheet
Cred	D.S.	FEB 2022	1388	02

Scale

1:100 A1
1:200 A3

Issue

A